


REPORT TO PLANNING COMMITTEE

15 January 2020

Application Reference	DC/19/63722
Application Received	14 th November 2019
Application Description	Retention of two storey side/rear extension; roof enlargements with rear facing gable and dormer window; and single storey front and rear extensions.
Application Address	188 Farm Road, Oldbury, B68 8PN
Applicant	Miss S Arif
Ward	Bristnall
Contribution towards Vision 2030:	
Contact Officer(s)	William Stevens 0121 569 4897 William_stevens@sandwell.gov.uk

RECOMMENDATION

That Members Visit the site

1. BACKGROUND

- 1.1 This is a retrospective application.
- 1.2 This application is being reported to your Planning Committee because the application has generated significant neighbour interest.

2. SUMMARY OF KEY CONSIDERATIONS

- 2.1 The Site is unallocated and relates to various extensions to a residential property.
- 2.2 The material planning considerations which are relevant to this application are:

Planning history
Overlooking/loss of privacy
Loss of light and/or outlook
Overshadowing
Public visual amenity
Overbearing nature of proposal
Layout and density of building
Design, appearance and materials
Highway safety, and parking

3. The APPLICATION SITE

- 3.1 The application site is situated on the corner of Farm Road and Farm Avenue, Oldbury.
- 3.2 The application site relates to a semi-detached property within a residential area.

4. PLANNING HISTORY

- 4.1 Two Planning Applications were granted in 2018 (DC/18/61468 and DC/18/61776) for various extension works. The builder however, strayed from the approved plans and an enforcement notice was served on 20th February 2019 seeking compliance with the approved planning permission. Hence this third application is seeking to retain parts of the unauthorised works.

- 4.2 Relevant planning applications are as follows: -

4.3	DC/18/61468	Proposed single/two-storey side extension, single storey rear extension, rear dormer window and porch/canopy to front.	Approved: 13.03.2018
	DC/18/61776	Proposed single and two-storey extensions to front side and rear, porch/canopy to front and loft conversion with dormer window to rear (amendment to DC/18/61468).	Approved: 15.06.2018
	ENF/18/10754	Extension not built in accordance with the approval plans.	Planning enforcement served: 20/02/2019

5. APPLICATION DETAILS

- 5.1 The applicant proposes to retain the two-storey side/rear extension; roof enlargements with rear facing gable and dormer window; and single storey front and rear extensions.

6. PUBLICITY

- 6.1 The application has been publicised by neighbour notification letters. Currently seven objections have been received and these comments will be reported to your next committee.

7. STATUTORY CONSULTATION

- 7.1 All statutory consultations will be reported at your next meeting.

8. GOVERNMENT GUIDANCE/NATIONAL PLANNING POLICY

- 8.1 National Planning Policy Framework promotes sustainable development but states that local circumstances should be taken into account to reflect the character, needs and opportunities for each area.

9. LOCAL PLANNING POLICY

- 9.1 The following sections of the Council's Development Plan are relevant: -

ENV3: Design Quality
SAD EOS9: Urban Design Principles

10. MATERIAL CONSIDERATIONS

- 10.1 Members will be updated at your next meeting.

11. IMPLICATIONS FOR SANDWELL'S VISION

- 11.1 The proposal supports Ambitions 10 of the Sandwell Vision 2030: -
- 11.2 Ambition 10 – Sandwell has a national reputation for getting things done, where all local partners are focussed on what really matters in people's lives and communities.

12. CONCLUSIONS AND SUMMARY OF REASONS FOR THE RECOMMENDATIONS

- 12.1 That Members visit the site considering the number of objections received.

13. STRATEGIC RESOURCE IMPLICATIONS

- 13.1 When a planning application is refused the applicant has a right of appeal to the Planning Inspectorate, and they can make a claim for costs against the council.

14. LEGAL AND GOVERNANCE CONSIDERATIONS

- 14.1 This application is submitted under the Town and Country Planning Act 1990.

15. EQUALITY IMPACT ASSESSMENT

- 15.1 There are no equalities issues arising from this proposal and therefore an equality impact assessment has not been carried out.

16. DATA PROTECTION IMPACT ASSESSMENT

- 16.1 The planning application and accompanying documentation is a public document.

17. CRIME AND DISORDER AND RISK ASSESSMENT

- 17.1 Comments will be provided within the next full report.

18. SUSTAINABILITY OF PROPOSALS

- 18.1 Comments will be provided within the next full report.

19. HEALTH AND WELLBEING IMPLICATIONS (INCLUDING SOCIAL VALUE)

- 19.1 Comments will be provided within the next full report.

20. IMPACT ON ANY COUNCIL MANAGED PROPERTY OR LAND

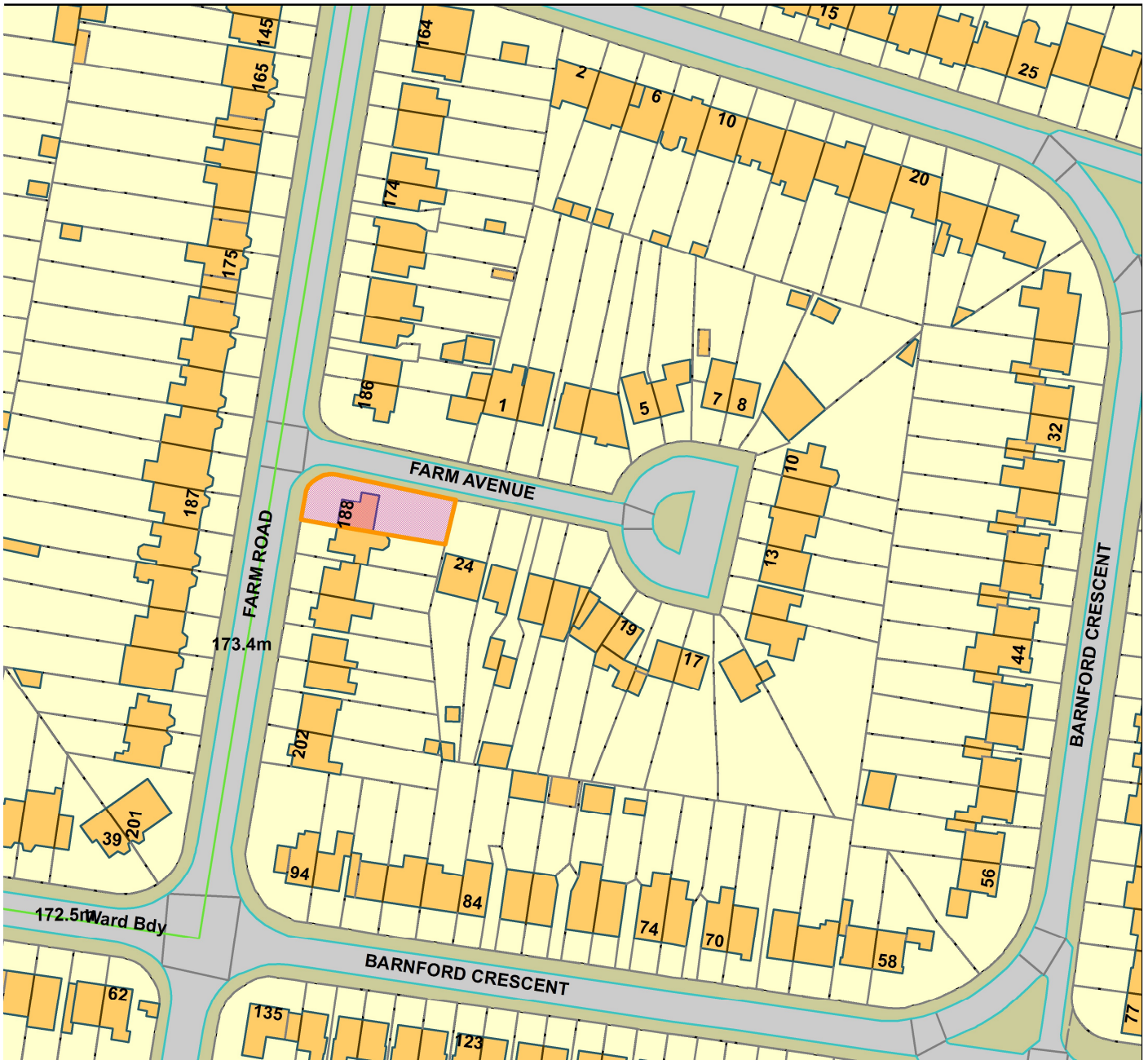
- 20.1 There will be no impact.

21. APPENDICES:

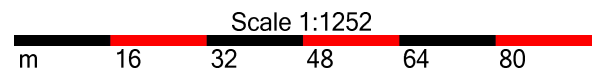
Site Plan
Context Plan

DC/19/63722

188 Farm Road, Oldbury, B68 8PN.



Legend



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Organisation	Not Set
Department	Not Set
Comments	
Date	03 January 2020
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